

Inspection Report



This inspection performed in accordance with current "Standards of Practice" of the American Society of Home Inspectors, NCHILB, VA.dpor

This inspection report prepared specifically for:

Mike & Karen Buyers
135 High Bluff
Littletown, NC



Inspected by: **Eddie Thornell**

Table of Contents



Atlantic Inspection Service
Residential & Commercial Inspection Services
Atlnsvc@gmail.com
(252) 903-3977 | Eddie Thornell | License# 2214
3661 SUNSET AVE #207 ROCKY MOUNT, NC

General Information.....1	Bathrooms.....11
Roof.....2	Interior Rooms.....12
Exterior.....3	Garage & Carport.....13
Grounds & Drainage....5	Attic.....15
Heating & Cooling.....6	Foundation.....17
Plumbing.....7	Deficiency Summary
Electrical.....8	Addendum.....(if noted)
Kitchen & Laundry.....9	Photos.....(if noted)

About This Inspection Report

READING THIS REPORT

Each page of this report addresses a specific area of this property, identified by title (i.e. Roof) and is divided into three sections. The top section of each page rates components of the property and provides a recommended action when necessary. See "Terminology" below. The middle section contains factual information about the property (i.e. age of home). The bottom section provides inspectors space to provide additional detail when needed.

Terminology

DEFINITIONS OF CONDITIONS

ACCEPTABLE

The item is performing its intended function as of the date of inspection in response to normal use.

NOT PRESENT

The item does not exist in the structure being inspected.

NOT INSPECTED or INACCESSIBLE

The item could not be inspected due to physical limitations.

DEFECTIVE

The item is either: significantly impeding habitability; unsafe or hazardous; does not operate properly or perform its intended function in response to normal use.

DEFINITIONS OF PERSPECTIVES

SAFETY HAZARD

Any item that is identified as a safety hazard is to be considered harmful or dangerous to its occupants due to its presence or absence in the structure. In our opinion these items should be evaluated by professionals in appropriate trades prior to closing.

MAJOR CONCERN

Any item identified as a major concern is either significantly affecting habitability and/or can be considered a possible expensive repair or replacement and should be evaluated by professionals in appropriate trades prior to closing.

MINOR CONCERN

Any item identified as a minor concern either does not significantly affect habitability and/or can be considered an inexpensive repair or replacement by professionals in appropriate trades prior to closing.

MAINTENANCE

Any item identified as maintenance is to be considered normal or routine in maintaining a home.



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3661 SUNSET AVE #207 ROCKY MOUNT, NC



PROPERTY / CLIENT INFORMATION

Report Date: 3/7/2023

Customer File # **03072301**

Agent : **John Homesale**

Buyer : **Mike & Karen Buyers**

Address:

Phone: **4345472284111**

Fax:

Email:

Inspection location: **135 High Bluff
Littletown, NC**

Send report to:

Phone:

County:

Area/Neighborhood:

Sub-division:

GENERAL INFORMATION

Main entry faces:

Bedrooms: **4**

Full Baths: **2**

Estimated Age: **2yr**

Vehicle Garages:

Half Baths: **3**

Type Structure: **Two Story Single Family Home**

Approx. Sq Footage: **3128**

3/4 Baths: **0**

Stories: **2**

Type Foundation: **Crawl**

Soil condition: **Moist**

Weather: **Clear**

Temp: **60-70**

Date: **3/7/2023**

Time: **10:03:58 AM**

Unit occupied: **yes**

Client present: **yes**

Attendees: **Buyer**

General Overview

It is illegal to transfer this report to any other parties other than real estate representatives involved in this transaction without written consent of Atlantic Inspection Service LLC. AIS assumes liability only to client listed on report. **AIS will only release report to third parties with written consent from client.** Any mark outs and/or hand written notes on this report unless initialed by the inspector are not from the official report of the inspector. The information contained in this report is to be used for this real estate transaction only. The report is invalid for any real estate transactions or decisions regarding above property if: 90 days past inspection date and/or unsigned inspection agreement, released to client by a third party, and/or unpaid inspection fee and/or report not presented in entirety.

Inspector: 

2214

Eddie Thornell

REPORT LIMITATIONS

This report has been prepared for the sole and exclusive use of the client indicated above and is limited to an impartial opinion which is not a warranty that the items inspected are defect-free, or that latent or concealed defects may exist as of the date of this inspection or which may have existed in the past or may exist in the future. The report is limited to the components of the property which were visible to the inspector on the date of the inspection and his opinion of their condition at the time of the inspection. **This report supersedes all previous communications, conversations.**

135 High Bluff, Littletown, NC -Mike & Karen Buyers

Page 1 of 17

Deficiency Summary

Atlantic Inspection Service LLC / Eddie Thornell 252 903 3977 / atlnsvc@gmail.com / www.atlanticinspectionsservice.com

Insp Date: 3/7/2023

135 High Bluff

File # 03072301

IMPORTANT

Location configuration for this report: Street side is front. Left and right: as facing from street side.

This is the summary section only. The full report may contain additional information of interest or concern to the client. It is strongly recommended that the client read the entire report. For information regarding the negotiability of any item in this report under a real estate purchase contract, contact your real estate agent or attorney.

If following Statements are in the report; A full inspection in these areas was not performed. "Doors and/or windows locked or stuck". "Loose faucet knobs". "Missing knobs on appliances". "Area of home seller would not allow to enter." "Inaccessible". "Stored items".

"wet electrical", snow, ice, unsafe conditions, "window dressings" furniture impeding access

To all: The summary is not the full report; any decisions made with this information only will impose no legal liability to the inspector and/or inspection company. Failure of client to follow directions / recommendations as stated in full report is an added risk assumed by client only. >

This report is considered intellectual property of client and inspector under federal law . Distribution of this report (and/or any contents in any form) to 3rd parties without consent of client and Atlantic Inspection Service LLC is strictly forbidden. (This request also applies if a no sale of property to client)

Roof

Debris on roof. Remove debris to avoid possible increased aging and leakage.

Debris in gutters. Remove debris to insure proper drainage.

Recommend full gutters installed on front dormers to avoid concentrated run off on lower roof and dormer walls. This will avoid moisture damage to dormer walls and extend life of roof.

HVAC

Aux. Gas heat did not operate. Contact a HVAC contractor to evaluate and repair if needed.

Kitchen & Laundry

Induction range could not be tested. Consult owner.

Oven controls indicated "on" but never heated up. Consult owner and/or appliance technician.

Vent hood gasket is loose. Vent rise and retract operation was slow. Contact an appliance technician to evaluate and repair if required.

Dryer ducting is flex ducting. Laundry dryers should vent through solid metal ducting to the exterior. Plastic / flex ducting is not rated for this use, and it is a safety hazard due to the risk of lint fires and exhaust leakage. Install solid metal ducting.

Bathroom

Master bath:

Shower floor at wall: RegROUT the tile areas to prevent water penetration and damage behind the tile surface.

Door binds. Repair a needed.

Down half bath:

Faucet is loose. Secure as needed.

Loose knob on sink cabinet. Secure as needed.

The report is provided as a courtesy for quicker access to DEFICIENCIES within the inspection report. This is not intended as a substitute for reading the inspection report. Items listed may be discussed further on the corresponding report page. There also may be findings other than what is listed on this page.

Deficiency Summary

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Insp Date: 3/7/2023

135 High Bluff

File # 03072301

Interior Rooms

Rec room:

Closet Light did not operate. Replace bulb and/or repair fixture as needed.

Back left bedroom:

Closet Light did not operate. Replace bulb and/or repair fixture as needed.

Attic

This attic has been insulated at the roof framing level instead of at the ceiling, this is typical of a closed attic system. however, soffit vents were noted.

This configuration could allow outside air to come in contact with conditioned surfaces resulting in condensation.

A lic. general contractor should be consulted for a complete evaluation of building envelope and ventilation / insulation configuration and perform repairs as needed.

Foundation

This crawl space is a sealed / conditioned type. No dehumidifier or HVAC venting was observed to control moisture levels. The operation, history and maintenance of this system should be conveyed to the buyer. Recommend a full inspection by original installer and/or other moisture control contractor for moisture control and code compliance.

The report is provided as a courtesy for quicker access to DEFICIENCIES within the inspection report. This is not intended as a substitute for reading the inspection report. Items listed may be discussed further on the corresponding report page. There also may be findings other than what is listed on this page.

Roof

INSPECTION FOCUS

Roofs are inspected visually and from an area that does not put either the inspector or the roof at risk. Steep, wet, snow or ice covered roofs are not walked on. Slate, tile or asbestos roofs are not walked on. Specifics will be in the report.

ROOF COVERINGS

The type of roof and the condition of the top layer will be reported and commented upon. Valleys and roof penetrations are prone to leaking. Worn, missing, patched or otherwise defective surfaces will be inspected and reported based upon normal wear and aging.

VENTS

Roof systems must be ventilated properly. The type and location of the vents will be reported. Defective or blocked vents can cause serious problems.

FLASHINGS

Flashings provide a water tight seal at roof penetrations (i.e. plumbing, chimneys, flues), which are prone to leaking and should be reinspected annually.

SKYLIGHTS

Skylights, like flashings, are prone to leaking and should be reinspected annually.

CHIMNEYS

Chimneys are very susceptible to the elements and usually are not completely visible due to location and height. Spalling of masonry units is a common problem in cold climates. Interior flue linings often are not visible especially if equipped with a cap covering to prevent downdrafts or screening to prevent sparks. Chimney parging conditions should also be inspected and reported.

GUTTER SYSTEMS

Gutters carry rain water off the roof and away from the foundation. Often they become clogged with leaves and other debris, or will develop sags and/or leaks at the joints. Gutters need periodic maintenance and cleaning.

Roof

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Roof coverings:	Acceptable	See Comments Below
2	Ventilation:	Acceptable	
3	Flashings:	Acceptable	
4	Skylights:	Not Present	
5	Chimneys:	Not Present	
6	Gutter system:	See Comments Below	
7	Antenna :		
8	:		

INFORMATION

9	Main roof age: **15yr	14	Ventilation: Combination Gable & Soffitt
10	Other roof age:	15	Chimney: Brick
11	Inspection method: Viewed from ground	16	Chimney flue: not inspected
12	Roof covering: Asphalt Shingle	17	Gutters: None
13	Roofing layers: 1st	18	Roof Style: Gable

ROOF COMMENTS

19 If gutters are present; they block view of fascia. Some areas of damage may not be detected.
****Age of roof is an estimate only if age is not documented by seller.**
 If rain noted: Roof was wet. Some defects and age may be difficult to observe and/or determine in this state.
 If debris noted: This condition may impede view of roof defects which may not be detected during the inspection.

Debris on roof. Remove debris to avoid possible increased aging and leakage.

Debris in gutters. Remove debris to insure proper drainage.

Recommend full gutters installed on front dormers to avoid concentrated run off on lower roof and dormer walls. This will avoid moisture damage to dormer walls and extend life of roof.



2



3



4

INSPECTION PHOTOS



**Roof
dormer configuration at front**

R2



**Roof
dormer configuration at front**

R3

135 High Bluff, Littleton, NC

INSPECTION PHOTOS



**Roof
dormer configuration at front**

R4

Exterior

INSPECTION FOCUS

The exterior is inspected visually at grade level. The inspector's evaluation is based on generally accepted building practices and the age of the components.

SIDING

Exterior trim, eaves, fascias and soffits should be dry and painted to protect it from the elements. Siding should be free of contact with grade and/or trees and shrubs. Moisture conditions that continually affect exterior siding should be corrected. Caulking and/or flashing should be applied where building materials intersect.

VENEER

Veneer is porous and can be damaged by water penetration, freezing and subsequent thawing. Bricks, stones, or blocks, and other masonry can be severely damaged and need replacement when moisture is allowed to remain over a period of time. Space between the veneer and the insulating sheathing is required and is accomplished with the use of "brick ties". Veneer also requires a proper footing to carry its weight. Movement caused by improper ties or footings are detected by the presence of cracks in mortar or waves in walls.

DOORS

Doors may be wood or insulated metal. Most exterior doors are three feet wide and have three solid hinges, positive air tight weather seals and dead bolt locking capabilities. If a house experiences settling or movement within the walls, one of the first noticeable signs will likely be at the doors. If a door sticks it usually means that the door or door frame is no longer square. If noted in the report, sticking doors should be evaluated for potential settlement problems.

WINDOWS

Windows can be single pane, single pane with storm systems, or have double or triple insulated glazings. Styles can be fixed, double hung, casement or sliding. They can be wood or metal and should operate easily and close securely. Insulated windows may suffer from moisture condensation between panes indicating broken thermo seals, which does not significantly affect its insulating quality.

HOSE FAUCETS

Exterior hose faucets should be checked for leakage and loose fittings. In colder climates hose faucets should be winterized to avoid freezing damage and garden hoses should be removed.

ELECTRICAL CABLE

Either underground or overhead electric cable is provided by a public utility. Service entrance conductors should be encased in protective material to avoid hazards.

ELECTRICAL

All exterior electrical wires and outlets should be weatherproof. Outside circuits (i.e. outlets, switches, fixtures) should be GFCI protected. Underground branch wiring should be appropriately installed.

Exterior

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Siding:	Acceptable	
2	Trim/fascias/soffits:	Acceptable	
3	Veneer:	Acceptable	
4	Doors:	Acceptable	
5	Windows:	Acceptable	
6	Hose faucets:	Acceptable	
7	Electrical cable:	Acceptable	
8	Exterior electrical:	Acceptable	

INFORMATION

9	Siding type: Composite	13	Window Type: Double Hung
10	Veneer type: None		
11	Trim/fascias type: composite	14	Window material: Wood & Vinyl
12	Door type: Insulated Metal	15	Electric service cable: Buried

EXTERIOR COMMENTS

16 It is not possible to probe 100% of surface areas of exterior. This is beyond the scope of this inspection. Small area/s of damage may exist undetected.

Exterior

EXTERIOR COMMENTS - Continued

16



INSPECTION PHOTOS



**Exterior
side**

EX5

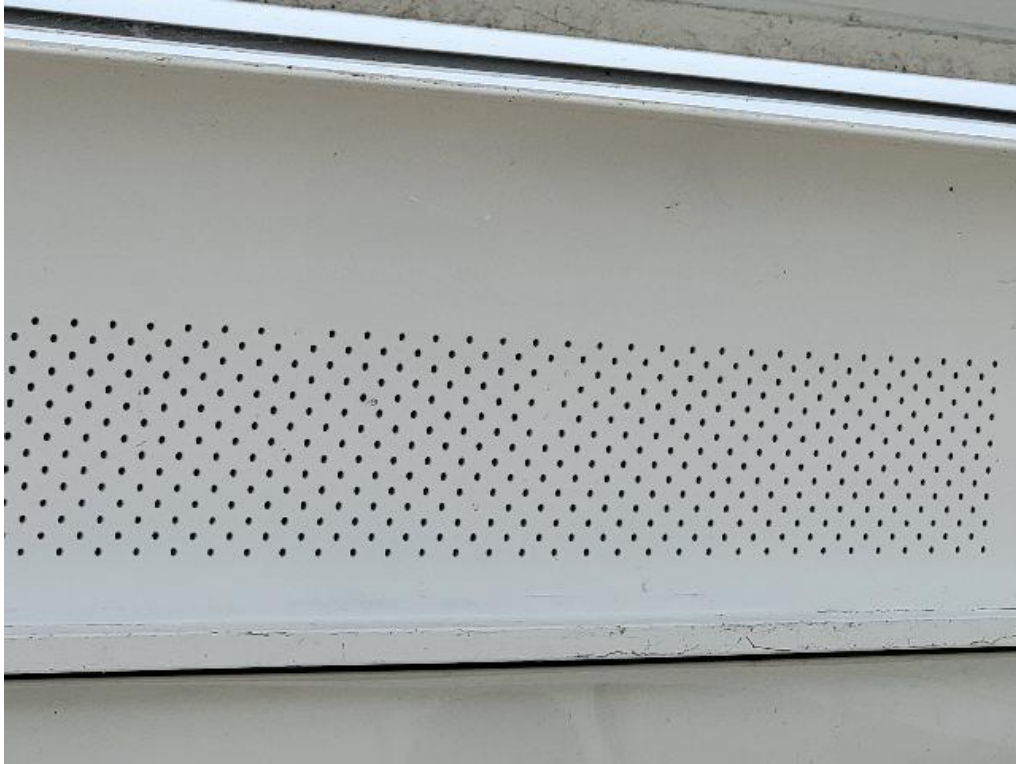


Exterior

EX6

135 High Bluff, Littleton, NC

INSPECTION PHOTOS



**Exterior
ventilated soffit**

EX12

Grounds & Drainage

INSPECTION FOCUS

Inspection of the exterior grounds and drainage is visual and intended to determine if the grading is properly carrying surface water away from the foundation. It is based on normal weather conditions at the time of the inspection. Inspectors do not perform a soil analysis or evaluate homes based on geological conditions.

DRAINAGE

Ideally, water should flow away from a property in all directions at a rate of one inch per foot for at least six feet. Grading should not slope toward the property and surface water should be channeled to the lowest part of the property away from the structure to prevent ponding of water next to the structure. Provisions should be made for discharging run-off from the guttering system.

TREES & SHRUBS

Inspectors observe trees and shrubs to see if they affect the property. The physical condition of the trees and shrubs themselves is not evaluated. Trees and shrubs should not be touching the roof, siding or the electrical service entrance cables

WALKS & STEPS

Walks and steps are inspected for tripping hazards. Walks and steps may be uneven or may settle and should be reported.

PATIO / PORCH

Patios and porches are inspected for movement and how they are attached to the property. Signs of settling, warping, or rot may occur, especially where they connect to the property

DRIVEWAY

Driveways may settle, crack, or deteriorate and should be reported.

RETAINING WALLS

Retaining walls support and hold earth in place for landscaping purposes. Evidence of movement is to be reported. Proper drainage and lateral support measures should be incorporated into the construction of retaining walls and should be reported when these conditions are not present.

Grounds & Drainage

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Drainage:	Acceptable	
2	Trees & shrubs:	Acceptable	
3	Walks & Steps:	Acceptable	
4	Porch/Deck	Acceptable	
5	Driveway:	Acceptable	
6	Retaining walls:	Not Present	
7	Deck:	Not Present	
8	Patio:	Not Present	

INFORMATION

9	Walks & Steps: <u>composite, block, gravel</u>	13	Porch: <u>composite</u>
10	Patio: <u>Concrete</u>	14	Location: _____
11	Location: <u>Rear</u>	15	Retaining walls: _____
12	Driveway: <u>Concrete</u>	16	: _____

GROUNDS & DRAINAGE COMMENTS

17 **Detached structures, docks, bulk heads, retaining walls, pools, gazebos- stand alone decks, landscape lighting, and sprinkler systems are not inspected.**

Heating & Cooling Systems

INSPECTION FOCUS

Heating and cooling inspections are visual. Weather permitting, we will operate both the heating and A/C units in their respective modes. We will use normal controls and evaluate how well the system is performing its intended function.

A/C OPERATION

A/C units are not operated when outdoor temperatures are below 60 degrees, since damage may result and compressor warranties may become void. A properly operating unit delivers cool air across the coil.

HEATING OPERATION

The heating unit may not be tested at this time if temperature conditions do not allow the system to be operated normally (i.e. during warm weather months we will not operate the heating system). Systems are not dismantled. The system type (i.e. forced air, hydronic, convective) and fuel type (i.e. gas, oil, electric) will be reported.

EXHAUST SYSTEM

Exhaust systems are inspected to determine if combustion gases are properly vented to the outdoor atmosphere. Separated or rusted vent pipes and/or negative slope are potentially dangerous.

DISTRIBUTION

Conditioned air should be present in all interior rooms. Rooms without conditioned air sources should be reported. Balancing of conditioned air is beyond the scope of the inspection.

FUEL STORAGE TANK / FUEL LINES

If the system has a fuel storage tank, it should be reported. If the tank has been abandoned, any evidence of its presence should be reported. Abandoned tanks should be removed. Fuel lines will be defined as gas or oil and reported.

HEAT EXCHANGER

The view of a heat exchanger is often concealed by design. A complete evaluation can only be achieved by dismantling the unit, which is beyond the scope of this inspection.

HUMIDIFIER

Humidifiers require constant maintenance and often become covered by lime deposits which can cause them to become inoperable within short periods of time.

FILTER

A clean filter is helpful for proper operation of heating units. Dirty filters cause poor circulation, waste energy, can be unhealthy and should be cleaned/replaced often.

Heating & Cooling

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	A/C operation:	Acceptable	
2	Heating operation:	Acceptable	
3	System back-up:	See comments below	
4	Exhaust system:	Not tested	
5	Distribution:	Acceptable	
6	Thermostat:	Acceptable	
7	Gas Piping:	Not Inspected	
8	Heat Exchanger:	Not Inspected	
9	Humidifier:	Not Inspected	
10	Filter:	Not Inspected	

INFORMATION

11 # Heating Units: <u>2</u>	18	# Cooling Units: <u>2</u>
12 Heating Types: <u>Forced Air</u>	19	A/C Types: <u>Electric Central Air</u>
13 Heating Ages: <u>2</u> years	20	A/C age: <u>same as heat</u>
14 Heating Fuels: <u>gas & electric</u>	21	Filter: <u>Disposable Media</u>
15 Distribution: <u>Ductwork</u>	22	Heat Source Mfg. _____
16 Duct Insulation Type: <u>Fiberglass</u>	23	A/C Source Mfg. _____
17 Gas Shutoff Location: <u>at unit, tank</u>		

HEATING & COOLING COMMENTS

- 24 Unable to evaluate air conditioning system if outdoor ambient air temperature was below 60 degrees. Operating below this temperature can damage air conditioning compressor. Stand alone heating and cooling units are not inspected. Central systems only are inspected. If no central system exist other room systems may be inspected. Ducting, air handler supply and/or drain lines and other system components are visually inspected where evident. Ducting and components in walls, ceilings and/or hidden by objects and/or other such as framing, plumbing, etc cannot be visually inspected. Ducting structural integrity is not tested which is beyond the scope of this inspection. Heat exchangers and interior components if present are not visually inspected. This is beyond the scope of this inspection which requires disassembly. It is recommended that gas or oil units older than 8 yrs; A full inspection of the heat exchanger and interior components are performed by a HVAC contractor. System age is an estimate only. As most brands include in serial # which location of yr varies from make and model. Missing component statements indicate not observed. This is not a conclusive statement item does not exist.
- This inspection confirms system operation the day of inspection. No official life estimate or warrantee is given with this home inspection. >>>**
- Main floor unit is a 2 ton dual fuel heat pump**
- Up floor unit is a 3 ton heat pump**
- Aux. Gas heat did not operate. Contact a HVAC contractor to evaluate and repair if needed.**
- The thermostat for this system does not contain a Aux/ Emer. switch setting. The second stage heating could not be tested.**

Plumbing

INSPECTION FOCUS

Plumbing inspections are visual and operational. Inspectors operate normal controls and put the system through a normal cycle.

SUPPLY PIPES

Supply pipes, especially galvanized, can become clogged with mineral deposits, which restrict functional water flow. If air gets trapped in the lines, the pipes can make a knocking sound, known as water hammer. Electrolysis, which occurs from the mixing of ferrous and non-ferrous metals, can cause leaks.

WASTE / VENT PIPES

Waste pipe inspections are limited to the visible portions of the drain system. Inspectors run water through the system for a minimum of 30 minutes and look for any indication of leaks, defective drainage or venting.

FUNCTIONAL WATER FLOW

Functional water flow is based on at least three gallons per minute flow of water from the highest fixture when at least one other fixture is operated simultaneously.

FUNCTIONAL WASTE DRAIN

Functional waste drainage is based on the free flow of water, without backing up, at all drains after at least 30 minutes of water entering into the system.

WELL SYSTEM

Well inspections are limited to the accessible above-ground components. Pressure tanks that are water logged will cause the pump to wear out quickly and should be reported. Wells should deliver adequate pressure at all times. Water samples of the site should be taken to an approved laboratory to test potability.

SEPTIC SYSTEM

Inspections of septic systems are very limited. After water is run into the system for at least 30 minutes a dye is introduced. A visual inspection of the leach field is made by walking the field looking for evidence of an effluent breakout, leaching or failure.

WATER HEATER / TEMPERATURE PRESSURE RELEASE (TPR) VALVE

Water heaters are inspected visually for proper installation and ability to provide adequate hot water. All water heaters must have a temperature pressure relief valve with a properly installed extension discharge pipe.

Plumbing

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Supply pipes:	Acceptable	
2	Waste/vent pipes:	Acceptable	
3	Funct'l water flow:	Acceptable	
4	Funct'l waste drain:	Acceptable	
5	Well system:	Not Inspected	
6	Septic system:	Not Inspected	
7	Water heater:	Acceptable	
8	TPR Valve:	Acceptable	

INFORMATION

9	Water supply represented as:	Municipal	14	Waste system represented as:	Municipal
10	Supply pipes:	PEX	15	Septic location:	
11	Pipe insulation type:	None	16	Waste/Vent pipes:	PVC
12	Water Shutoff Location:	Meter	17	Water Heater Manf.:	
13	Well location:		18	Water Heater Gallons:	Tankless Age: 2 years
			19	Water Heater Fuel:	propane

PLUMBING COMMENTS

- 20 **Plumbing servicing detached structures is not inspected. Wells, water treatment - filtration, and/or septic systems, hot tubs, and saunas are not inspected.**
Due to the floor framing moisture barrier on manufactured homes, cement slabs, finished basements: Most or some of the plumbing cannot be fully visually viewed or inspected.
This home may be new and/or unoccupied for an unknown length of time. It is possible that leaks may appear in plumbing during initial use. This leaking may be caused by improper connections that may be hidden and/or ruptures during initial use.
Faucet seals that have not been used over long periods of time may be hardened and fail during initial use and/or over short periods of time.
This inspection does not simulate actual use by occupants over extended periods of time. It is not possible to predict and/or detect these long term failures during a home inspection.
Leaks in walls and ceilings may appear as stains first then progressively worsen.
Water heater age is an estimate only. Consult owner.
All plumbing areas should be closely monitored during the first 30 days after occupying your home.
 >>

Electrical

INSPECTION FOCUS

Electrical inspections are visual and operational. Inspectors operate all normal switches, test a representative number of outlets and observe visible lines.

WIRING AT MAIN BOX

Location, type(s) of over-current protection devices and rating(s) of the main service panel(s) are reported. Inspectors remove cover panels so the main service panel wiring can be inspected. Present day systems should be a minimum of 100 amps. Systems should be inspected for double tapping, loose and bare wiring, aluminum branch wiring and wiring compatibility with over-current protection devices.

GROUND

The type and location of the grounding system should be inspected and reported. Undetermined or inadequate grounding should be reported.

GFCI

Newer homes require ground fault circuit interrupters. These safety devices are required in areas where water may be present, such as kitchens, bathrooms, exterior regions, garages, and basements. Older homes should consider updating an electrical system with these devices.

AMPERAGE

The rating of the main service wire conductor, main over-current device and the main service panel should be compatible and used to help determine the amperage rating of the electrical service.

HOUSEHOLD WIRING

Wiring beyond the main service panel box is examined for compatibility, proper over-current protection, and improper wiring conditions.

Electrical System

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Wiring at main box:	Acceptable	
2	Ground:	Acceptable	
3	GFCI:	Acceptable	
4	Amperage:	Acceptable	
5	Wiring:	Acceptable	
6	:		
7	:		
8	:		

INFORMATION

9	Amps: 200	14	Branch circuit wiring: Copper
10	Volts: 120/240	15	Grounding: Exterior Ground Rod
11	Main box location: meter / garage	16	Ground fault protection at: Baths, Exterior, Kitchen & Garage
12	Main Disconnect: Meter	17	Main box type: Breakers
13	Main service conductor: Aluminum	18	Wiring type: Romex

ELECTRICAL SYSTEM COMMENTS

19 **Low voltage, alarm system, audio, video and communication wiring and/or components are not considered part of the main electrical system and therefore are not inspected.**
Wiring exiting the home to service detached structures is not inspected.
Auxiliary power / generator switch gear is not inspected; Recommend an electrician to inspect these components if desired by client.

Kitchen & Laundry

INSPECTION FOCUS

Kitchen and laundry inspections are visual and operational.

WALLS / CEILINGS / FLOORS

Kitchen and laundry walls, ceilings & floors are inspected based on normal building practices for homes of similar age and construction and exclude cosmetic items. Cracks in walls are very common in most homes. Most small cracks usually indicate minor movement. These cracks are typically not serious and are even considered to be normal as the house gets older. Larger cracks may indicate ongoing movement and if noted in the report, further evaluation by a structural engineer is warranted. Squeaking floors in a house are generally the result of aging materials in the floor and minor stresses that are common as the house gets older. Unless otherwise noted in the report, these should be considered a minor item only.

DOORS & WINDOWS

Interior portions of doors and windows are inspected for proper ventilation, use as emergency exits, and ease of operation. If a house experiences settling or movement within the walls, one of the first noticeable signs will likely be at the doors. If a door sticks, it usually means that the door or door frame is no longer square. If noted in the report, sticking doors should be evaluated for potential settlement problems.

HEATING & COOLING

The presence of conditioned air sources to the kitchen and laundry are noted.

CABINETS / SHELVES

Kitchen and laundry shelves and cabinets are inspected for acceptable operation.

SINK PLUMBING

Kitchen and laundry sinks should be inspected for proper installation and operation. Plumbing systems should be free of leaks and drain and vent properly.

APPLIANCES (BUILT-IN)

Built-in appliances will be operated and reported.

LAUNDRY

The location of the laundry room will be reported. This section of the report will be completed in the same manner as the kitchen portion.

DRYER VENTS / DRYER SERVICE

Dryer vents should be vented to the exterior. They should not terminate in the crawl space, garage or attic. The condition of the dryer electrical service should be reported.

Kitchen & Laundry

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
KITCHEN			
1	Walls/ceiling/floor:	Acceptable	
2	Doors & windows:	Acceptable	
3	Heating & cooling:	Acceptable	
4	Cabinets/shelves:	Acceptable	
5	Sink plumbing:	Acceptable	

APPLIANCES			
6	Disposal:	Not Present	
7	Dishwasher:	Acceptable	
8	Refrigerator:	Acceptable	
9	Exhaust fan:	See comments below	
10	Microwave:	Acceptable	
11	Ice-Maker:	Not Inspected	
12	Trash Compactor:	Acceptable	
13	Range/oven:	See comments below	
14	Gas or electric?	Electric	

LAUNDRY			
15	Walls/ceiling/floor:	Acceptable	
16	Doors & windows:	Acceptable	
17	Washer plumbing:	Acceptable	
18	Sink plumbing:	Not Present	
19	Cabinets/shelves:	Acceptable	
20	Heating & cooling:	Acceptable	
21	Dryer vent:	See comments below	
22	:		
23	:		
24	Dryer service:	Acceptable	
25	Gas or electric?	Electric	

KITCHEN AND LAUNDRY COMMENTS

26 All appliances inspected on/off only. Performance of appliances not confirmed. Refrigerator accessories such as ice and water dispensers are not tested. Laundry, stand alone freezers - ice makers, wine coolers, and countertop appliances are not inspected. Multiple same type appliances are not inspected. Floors under major appliances not inspected. **Only one type kitchen appliance is inspected per report unless specified.**
 Due to varying appliance pump rates; Performance of laundry plumbing is not tested or confirmed .
 >>

Induction range could not be tested. Consult owner.

Oven controls indicated "on" but never heated up. Consult owner and/or appliance technician.

Vent hood gasket is loose. Vent rise and retract operation was slow. Contact an appliance technician to evaluate and repair if required.

Dryer ducting is flex ducting. Laundry dryers should vent through solid metal ducting to the exterior. Plastic / flex ducting is not rated for this use and it is a safety hazard due to the risk of

Kitchen & Laundry

KITCHEN AND LAUNDRY COMMENTS - Continued

26



8



9

INSPECTION PHOTOS



**Kitchen & Laundry
flex dryer duct**

K8



**Kitchen & Laundry
loose gasket on range top vent**

K9

135 High Bluff, Littleton, NC

Bathrooms

INSPECTION FOCUS

Bathroom inspections are visual and operational. Inspectors operate plumbing fixtures to determine the presence of leaks and look for water damage.

WALLS / CEILINGS / FLOORS

Bathroom walls, ceilings & floors are inspected based on normal building practices for homes of similar age and construction and exclude cosmetic items. Cracks in the walls are very common in most homes. Most small cracks usually indicate minor movement. These cracks are typically not serious and are even considered to be normal as the house gets older. Larger cracks may indicate ongoing movement and, if noted in the report, further evaluation by a structural engineer is warranted. Squeaking floors in a house are generally the result of aging materials in the floor and minor stresses that are common as the house gets older. Unless otherwise noted in the report, these should be considered a minor item only.

DOORS & WINDOWS

Interior portions of the doors and windows are inspected for proper ventilation, use as emergency exit, and ease of operation. If a house experiences settling or movement within the walls, one of the first noticeable signs will likely be at the doors. If a door sticks it usually means that the door or door frame is no longer square. If noted in the report, sticking doors should be evaluated for potential settlement problems.

HEATING & COOLING

The presence of conditioned air sources to the bathrooms and their condition is reported.

CABINETS / SHELVES / COUNTERS

Bathroom shelves, cabinets and counters are inspected for acceptable operation.

VENTS

Inspection of the exhaust vent systems should detect whether or not venting extends to the outdoor atmosphere. Systems that recirculate indoors should be corrected as excessive moisture build-up from high humidity conditions may lead to water related damage.

SINKS / TOILETS / TUBS / SHOWERS

Bathroom plumbing systems are inspected for leaks which may affect shower, tub and sink surroundings. Inspectors examine and look for evidence of leaks at the junction of walls and floors that intersect with these units.

BATHROOMS INSPECTED

The number of associated bathrooms will be reported.

Bathrooms

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1 Walls, ceiling, floor:	Acceptable		
2 Doors & windows:		See comments below	
3 Heating & cooling:	Acceptable		
4 Cabinets & counter:	Acceptable		
5 Vents:	Acceptable		
6 Sinks:		See comments below	
7 Toilets:	Acceptable		
8 Tubs:	Acceptable		
9 Showers:		See comments below	
10 Jacuzzi:	Not Present		

BATHROOMS INSPECTED

11 # of Half baths: **3** 12 # of Full baths: **2** 13 # of 3/4 baths: **0**

BATHROOM COMMENTS

14 **This area of the home is subjected to continual moisture. The floor and wall system may hide damage which could not be detected during the inspection.**

Master bath:

Shower floor at wall: RegROUT the tile areas to prevent water penetration and damage behind the tile surface.

Door binds. Repair a needed.

Down half bath:

Faucet is loose. Secure as needed.

Loose knob on sink cabinet. Secure as needed.

Interior Rooms

INSPECTION FOCUS

Interior room inspections are conducted visually. Inspectors examine and base findings on homes of similar construction and age.

WALLS / CEILINGS / FLOORS

Interior walls, ceilings & floors are inspected based on normal building practices for homes of similar age and construction and exclude cosmetic items. Cracks in walls are very common in most homes. Most small cracks usually indicate minor movement. These cracks are typically not serious and are even considered to be normal as the house gets older. Larger cracks may indicate ongoing movement and, if noted in the report, further evaluation by a structural engineer is warranted.

DOORS & WINDOWS

Interior portions of the doors and windows are inspected for proper ventilation, use as emergency exits, and ease of operation. If a house experiences settling or movement within the walls, one of the first noticeable signs will likely be at the doors. If a door sticks it usually means that the door or door frame is no longer square. If noted in the report, sticking doors should be evaluated for potential settlement problems.

HEATING & COOLING

The presence of conditioned air sources to the interior rooms and their condition is reported.

CABINETS / SHELVES / COUNTERS

Interior room cabinets, shelves and counters are inspected for acceptable operation.

WET BAR

Wet bars are inspected for proper installation of plumbing components, should be free of leaks, and drain and vent properly.

FIREPLACE / WOODSTOVE

Fireplaces are checked for proper installation. We do not operate these units. We visually inspect them for signs of improper installation such as evidence of downdrafts, creosote in the throat or flue area, loose or missing dampers, and/or loose, missing or damaged fire box material. Flue interiors are not inspected. Please consult a professional chimney sweep.

SMOKE DETECTORS

The presence of smoke detectors are reported and should be located on each floor, and at/or near the bedroom sections of the home.

STAIRS / BALCONIES / RAILS

Railing and stair systems are inspected for safety. Proper railing installation and consistent stair riser and tread dimensions are necessary for safety.

Interior Rooms

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1 Walls, ceiling, floor:	Acceptable		
2 Doors & windows:	Acceptable		
3 Heating & cooling:		see HVAC notes	
4 Cabinets & counter:	Acceptable		
5 Wet Bar:	Not Present		
6 Fireplc/woodstove:	Not Present		
7 Smoke detectors:	Acceptable		
8 CO detectors:	Not Inspected		
9 Stairs/balcony/rails:	Acceptable		
10 Trim:			

INFORMATION

- | | | | | |
|---|--------------------|--------------------|-----------------|---|
| <p>11 Rooms inspected:
Bedrooms #: 4</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="padding: 2px;">Dining Room</td></tr> <tr><td style="padding: 2px;">Entranceway</td></tr> <tr><td style="padding: 2px;">Rec Room</td></tr> </table> | Dining Room | Entranceway | Rec Room | <p>12 Walls & ceilings: <u>dry wall</u></p> <p>13 Floors: <u>Carpet, laminate</u></p> <p>14 Number of wet bars: _____</p> <p>15 Number of fireplaces/woodstoves: _____</p> <p>16 Fuel source: _____</p> |
| Dining Room | | | | |
| Entranceway | | | | |
| Rec Room | | | | |

INTERIOR ROOM COMMENTS

17 **This home is occupied by furniture, window treatments and/or personal items. During the inspection some areas of the floors, walls, windows were hidden / inaccessible during the inspection, therefore not inspected.**

Fireplace flue interiors are not inspected. Consult with a certified chimney sweep for service.
If gas logs in fireplace; consult owner and/or gas company if vented or non-vented type. If vented gas logs; damper will need to be open while operating. Due to thermal switching if present; fireplace fan operation cannot always be verified.

Rec room:
Closet Light did not operate. Replace bulb and/or repair fixture as needed.

Back left bedroom:
Closet Light did not operate. Replace bulb and/or repair fixture as needed.

Garage & Carport

INSPECTION FOCUS

Garages and carports are inspected based on accessibility and are reported as being attached or detached from the house structure. The exterior components (i.e. roof, walls, eaves, fascias, gutters, etc.) should be reported when defects exist. They should also be reported when they differ from those components previously listed as part of the house structure. Interior components (i.e. walls, etc.) should be reported when defects exist and when they differ from those components previously listed as part of the house structure.

FIREWALL / FIREDOOR

Attached garages should be separated from common walls of the house by a proper firewall and firedoor. Their purpose is to prevent migration of smoke from entering the house in the event of a garage fire. The presence of these items will be reported. The presence of both a required fire door between the house and the garage and an automatic door closing devices will be reported, if applicable.

VEHICLE DOOR

Damage to the garage door hardware may represent a potential safety concern. Garage doors are oftentimes heavy and place a great deal of force on related components. Should any of these components fail, the weight of the door could create a dangerous condition. Some garage doors are installed with exposed springs. This type of hardware configuration should include safety features designed to prevent harm should the spring break.

DOOR OPENER

Electric garage door openers have been known to trap people, especially children, under the door as it closes. For this reason, all garage door openers should be equipped with a safety device to reverse the direction of the door, if necessary. Non-reversing door openers should be replaced for safety. Safety reversing devices should be checked monthly.

Garage & Carport

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Roof:		
2	Walls:		
3	Eaves:		
4	Electrical:		
5	Gutters:		

INTERIOR

6	Walls/ceiling/floor:		
7	Firewall/firedoor:		
8	Doors & windows:		
9	Garage doors:		
10	Door openers:		
11	Electrical:		
12	Heating & cooling:		

INFORMATION

EXTERIOR	INTERIOR
13 Location: _____	17 Walls & ceilings: _____
14 Roof covering: _____	18 Floors: _____
15 Roof age: _____	19 Garage door: _____
16 Gutters: _____	

GARAGE & CARPORT COMMENTS

20 **Detached garages and carports are not inspected. Stored items impede full inspection of interior. Some areas of walls and floor could not be viewed.**

Garage & Carport

GARAGE & CARPORT COMMENTS - Continued

20



INSPECTION PHOTOS



**Garage & Carport
infrared too high**

GC7

Attic

INSPECTION FOCUS

Attic inspections are visual. Inspectors will access the attic if possible. Most attics are unfinished and outside the living space of the home.

ACCESS

Inspectors will locate and access if the attic has adequate clearance and is unobstructed. Some attics are too narrow to enter or are not present due to cathedral ceilings.

FRAMING

Attic framing creates space between the ceiling and the roof. It should be sturdy enough to carry the weight of the framing and roof as well as snow and ice in colder climates.

SHEATHING

The sheathing separates framing from roof shingles. It should be kept dry and free of roof leaks and its condition should be reported.

INSULATION

Attics are subject to extreme temperature changes due to direct exposure of the sun on the roof in summer and the lack of a heat source on winter days. Therefore, adequate attic insulation is necessary for energy efficiency.

VENTILATION

Attics must be ventilated properly to eliminate cold weather moisture build-up and subsequent condensation. Additionally, ventilation is necessary to prevent excessive heat and subsequent overworking of the A/C system during warm weather.

EXPOSED WIRING

Attic wiring, a part of the branch circuit wiring for the living space, should not be covered with insulation or have any splices or open junction boxes.

PLUMBING VENTS / CHIMNEYS / FLUES

Plumbing vents, chimneys and flues should terminate above the roof line and be free of leaks around flashed areas.

Attic

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Access:	Acceptable	
2	Framing:	Acceptable	
3	Sheathing:	Acceptable	
4	Insulation:	See comments below	
5	Ventilation:	See comments below	
6	Exposed wiring:	Not Present	
7	Plumbing vents:	Acceptable	
8	Chimney & flues:		
9	Vapor Retarder:	Not Present	
10	Built-in Shelving:	Not Present	

INFORMATION

11	# of Attic areas: <u>1</u>	14	Framing: <u>Conventional</u>
12	Access locations: <u>Hallway</u>	15	Sheathing: <u>OSB</u>
13	Access by: <u>Disappearing Stairway</u>	16	Insulation: <u>spray foam</u>

ATTIC COMMENTS

17 Attic inspection limited due to incomplete flooring which does not permit access to all areas.

Whole house ventilation fans are not tested. Consult owner.

Attic inspection limited due to stored articles which limit access.

Older homes constructed before code compliance was in effect; Framing may not meet current code. This should be considered in purchasing home. If you would like further evaluation contact a licensed contractor to evaluate.

This attic has been insulated at the roof framing level instead of at the ceiling, this is typical of a closed attic system. however, soffit vents were noted.

This configuration could allow outside air to come in contact with conditioned surfaces resulting in condensation.

A lic. general contractor should be consulted for a complete evaluation of building envelope and ventilation / insulation configuration and perform repairs as needed.

Attic

ATTIC COMMENTS - Continued

17



10



11

INSPECTION PHOTOS



**Attic
insulation on sheathing none on ceiling**

AT10



**Attic
spray foam insulation**

AT11

135 High Bluff, Littleton, NC

Foundation

INSPECTION FOCUS

Foundation inspections are visual and limited to accessible components. Accessibility will vary due to type of foundation and other obstacles. The most common problem concerning foundations is water.

ACCESS

Inspectors will access foundation components based on their design. For instance, unfinished basements offer complete access while slab foundations offer very little.

FOUNDATION WALLS

Inspectors will attempt to identify the type of materials used in the foundation and look for abnormal cracks, wear, or movement. If warranted, additional structural inspections may be recommended.

FLOOR FRAMING

Basements and crawl spaces normally allow for a complete inspection of the floor framing. Inspectors will look for signs of moisture penetration, dry rot or other system damage in areas where accessibility permits.

INSULATION

Insulation in basements and crawl spaces may obstruct the inspector's view. Improperly installed insulation may trap moisture and lead to rot.

VENTILATION

Basements and crawl spaces require proper ventilation to allow moisture to escape. Perimeter vents or windows in the foundation help aid evaporation. Vents should be closed during winter months in colder climates.

SUMP PUMP / DRYNESS / DRAINAGE

Basement and crawl space areas prone to water problems should have a sump pump. Removing water reduces the amount of moisture and likelihood of insects in the home. Proper grading at the outside foundation, the use of sump pumps, and/or gravity drainage helps keep basements and crawl spaces dry.

FLOOR / SLAB

The concrete floor (slab) inspection is very limited due to lack of accessibility. Inspectors will report the presence of floor coverings (i.e. tile, carpeting), and will note signs of movement or cracks.

Foundation

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
Foundation Type Crawl			
1	Access:	Acceptable	
2	Foundation walls:	Acceptable	
3	Floor framing:	Acceptable	
4	Insulation:	Acceptable	
5	Ventilation:	See comments below	
6	Sump pump:	Not Present	
7	Dryness/drainage:	Acceptable	
8	Floor/Slab:	Not Present	
9	Vapor Retarder:	Acceptable	
10	Enter Value:		

INFORMATION

11	Foundation walls: Brick / Block	14	Beams: wood
12	Floors: Dirt	15	Piers: Brick / Block
13	Joist/Truss Detail: 2x " " wood member	16	Sub Floor: Plywood
		17	Insulation: Perimeter Walls

FOUNDATION COMMENTS

18 Crawl space inspection limited due to low clearance, plumbing, and HVAC ducting which does not permit access to all areas.
Masonry cracks / repair comments are recommendations. Root cause and structural implications of cracks are beyond the scope of this inspection. If you would like further evaluation contact a foundation contractor or structural engineer.

The floor framing and plumbing near main HVAC trunk lines may not be fully accessible for inspection.

Due to floor insulation: Probing 100% of the floor system is beyond the scope of this visual inspection. The inspector may probe floor areas that possibly could be damaged (water supply / drain lines / porch areas) It is possible that areas of damage may exist undetected. It is understood that client assumes these risk. *Failure of client to follow directions / recommendations as stated in report is an added risk assumed by client only.*

Important note about wood destroying pest damage: Due to the nature of some pest damaging wood members from the interior; it may not be possible to determine if damage is present or the extent of damage. Probing 100% of wood framing would be required (which is beyond the scope of a home inspection) and/or a structural engineer would be needed to perform this analysis. This inspection is limited to the exterior / visible areas of the wood framing. If you would like further evaluation contact s structural engineer.

This crawl space is a sealed / conditioned type. No dehumidifier or HVAC venting was observed to control moisture levels. The operation, history and maintenance of this system should be conveyed to the buyer. Recommend a full inspection by original installer and/or other moisture control contractor for moisture control and code compliance.